

FINAL PLAT

EAGLE MEADOW FILING 2B

A SUBDIVISION OF A PART OF THE NW1/4
OF SECTION 13, T1N, R68W OF THE 6TH P.M.,
CITY OF DAcono,
COUNTY OF WELD
STATE OF COLORADO.

SHEET 1 OF 3

OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, EAGLE MEADOW, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE LAND SHOWN ON THIS FINAL PLAT AND DESCRIBED AS FOLLOWS:

A TRACT OF LAND LOCATED IN THE NW1/4 OF SECTION 13, T1N, R68W OF THE 6TH P.M., CITY OF DAcono, COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 13, FROM WHICH THE W1/4 CORNER OF SAID SECTION 13 BEARS S00°3'24"W, 2608.60 FEET (BASIS OF BEARING), THENCE S00°3'24"W, 1753.91 FEET ALONG THE WEST LINE OF THE NW1/4 OF SAID SECTION 13 TO THE SOUTHERLY LINE OF EAGLE MEADOW FILING 1, A SUBDIVISION IN THE CITY OF DAcono, COUNTY OF WELD, STATE OF COLORADO, ACCORDING TO THE PLAT RECORDED MAY 23, 2006, AS RECEPTION NO. 3390158 OF THE RECORDS OF WELD COUNTY, COLORADO, AND THE POINT OF BEGINNING.

THENCE CONTINUING S00°3'24"W, 672.84 FEET ALONG THE WEST LINE OF THE NW1/4 OF SAID SECTION 13 TO THE NORTHERLY RIGHT-OF-WAY LINE OF THE BULL CANAL CONVEYED TO THE FARMERS RESERVOIR AND IRRIGATION COMPANY AS DESCRIBED IN INSTRUMENT RECORDED MAY 23, 2006, AS RECEPTION NO. 3390162 OF THE RECORDS OF WELD COUNTY, COLORADO;

THE FOLLOWING COURSES AND DISTANCES ARE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID BULL CANAL:

- THENCE S83°11'08"E, 34.32 FEET;
- THENCE N80°28'33"E, 225.38 FEET;
- THENCE N82°20'47"E, 506.63 FEET TO A POINT OF CURVE TO THE LEFT;
- THENCE NORTHEASTERLY, 230.88 FEET ALONG THE ARC OF SAID CURVE TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 265.00 FEET, A CENTRAL ANGLE OF 49°55'05", AND BEING SUBTENDED BY A CHORD THAT BEARS N57°23'14"E, 223.64 FEET;
- THENCE N32°25'42"E, 111.82 FEET;
- THENCE NORTHWESTERLY, 22.94 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHEAST, SAID ARC HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 4°52'09", AND BEING SUBTENDED BY A CHORD THAT BEARS N52°54'32"W, 22.94 FEET;
- THENCE N32°25'42"E, 16.51 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE NORTHEASTERLY, 85.20 FEET ALONG THE ARC OF SAID CURVE TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 402.00 FEET, A CENTRAL ANGLE OF 12°08'35", AND BEING SUBTENDED BY A CHORD THAT BEARS N38°29'59"E, 85.04 FEET;
- THENCE N44°34'17"E, 49.49 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE NORTHEASTERLY, 34.92 FEET ALONG THE ARC OF SAID CURVE TO THE WESTERLY LINE OF EAGLE MEADOW FILING 2A, A SUBDIVISION IN THE CITY OF DAcono, COUNTY OF WELD, STATE OF COLORADO, ACCORDING TO THE PLAT RECORDED JANUARY 23, 2018, AS RECEPTION NO. 4369674 OF THE RECORDS OF WELD COUNTY, COLORADO, SAID ARC HAVING A RADIUS OF 366.00 FEET, A CENTRAL ANGLE OF 5°28'02", AND BEING SUBTENDED BY A CHORD THAT BEARS N47°18'17"E, 34.91 FEET;

THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID BULL CANAL, N22°26'54"W, 134.23 FEET ALONG THE WESTERLY LINE OF SAID EAGLE MEADOW FILING 2A TO AN ANGLE POINT THEREOF;

THE FOLLOWING COURSES AND DISTANCES ARE ALONG THE WESTERLY LINE OF SAID EAGLE MEADOW FILING 2A:

- THENCE S67°04'46"W, 183.07 FEET;
- THENCE S86°35'06"W, 60.00 FEET;
- THENCE NORTHERLY, 19.67 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE EAST TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 3°24'54", AND BEING SUBTENDED BY A CHORD THAT BEARS N01°42'27"W, 19.67 FEET;
- THENCE N00°00'00"E, 61.41 FEET TO A POINT OF CURVE TO THE LEFT;
- THENCE NORTHWESTERLY, 250.75 FEET ALONG THE ARC OF SAID CURVE, SAID ARC HAVING A RADIUS OF 320.00 FEET, A CENTRAL ANGLE OF 44°53'48", AND BEING SUBTENDED BY A CHORD THAT BEARS N22°26'54"W, 244.38 FEET;
- THENCE S66°31'11"W, 190.66 FEET;
- THENCE S25°49'40"W, 48.52 FEET;
- THENCE S17°47'26"W, 104.15 FEET;
- THENCE S47°42'53"W, 39.06 FEET;
- THENCE N44°56'16"W, 188.43 FEET TO THE SOUTHERLY LINE OF SAID EAGLE MEADOW FILING 1;

THENCE LEAVING THE WESTERLY LINE OF SAID EAGLE MEADOW FILING 2A, WESTERLY, 148.13 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH AND ALONG THE SOUTHERLY LINE OF SAID EAGLE MEADOW FILING 1 TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 260.00 FEET, A CENTRAL ANGLE OF 32°38'54", AND BEING SUBTENDED BY A CHORD THAT BEARS S73°46'55"W, 146.13 FEET;

THENCE N89°53'48"W, 206.22 FEET ALONG THE SOUTHERLY LINE OF SAID EAGLE MEADOW FILING 1 TO THE POINT OF BEGINNING.

AREA =14.050 ACRES, MORE OR LESS.

HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LAND AS PER DRAWING HEREON CONTAINED UNDER THE NAME AND STYLE OF "EAGLE MEADOW FILING 2B", A SUBDIVISION OF A PART OF THE CITY OF DAcono, COUNTY OF WELD, STATE OF COLORADO, AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE CITY OF DAcono, COLORADO, THE STREETS, AVENUES, AND OTHER PUBLIC PLACES AS SHOWN ON THE ACCOMPANYING PLAT FOR THE PUBLIC USE THEREOF FOREVER, AND DOES FURTHER DEDICATE TO THE USE OF THE CITY OF DAcono AND ALL SERVING PUBLIC UTILITIES (AND OTHER APPROPRIATE PUBLIC ENTITIES) THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE SO DESIGNATED AS EASEMENTS AS SHOWN.

IT IS EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INVOLVED IN CONSTRUCTING AND INSTALLING SANITARY SEWER WORKS AND LINES, WATER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS, AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREOF WHICH ARE APPROVED BY THE CITY OF DAcono, COLORADO, AND SUCH SUMS SHALL NOT BE PAID BY THE CITY OF DAcono, AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED WHEN ACCEPTED BY THE CITY OF DAcono SHALL BECOME THE SOLE PROPERTY OF SAID CITY OF DAcono, COLORADO, EXCEPT PRIVATE ROADWAY CURBS, GUTTER AND PAVEMENT AND ITEMS OWNED BY CITY FRANCHISED UTILITIES, OR OTHER SERVING PUBLIC ENTITIES, AND/OR CENTURY LINK, WHICH WHEN CONSTRUCTED OR INSTALLED SHALL REMAIN AND/OR BECOME THE PROPERTY OF SUCH CITY FRANCHISED UTILITIES, OTHER SERVING PUBLIC ENTITIES, AND/OR CENTURY LINK AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF DAcono, COLORADO.

EAGLE MEADOW, LLC:

DERRICK A. POLLAND, MANAGING MEMBER

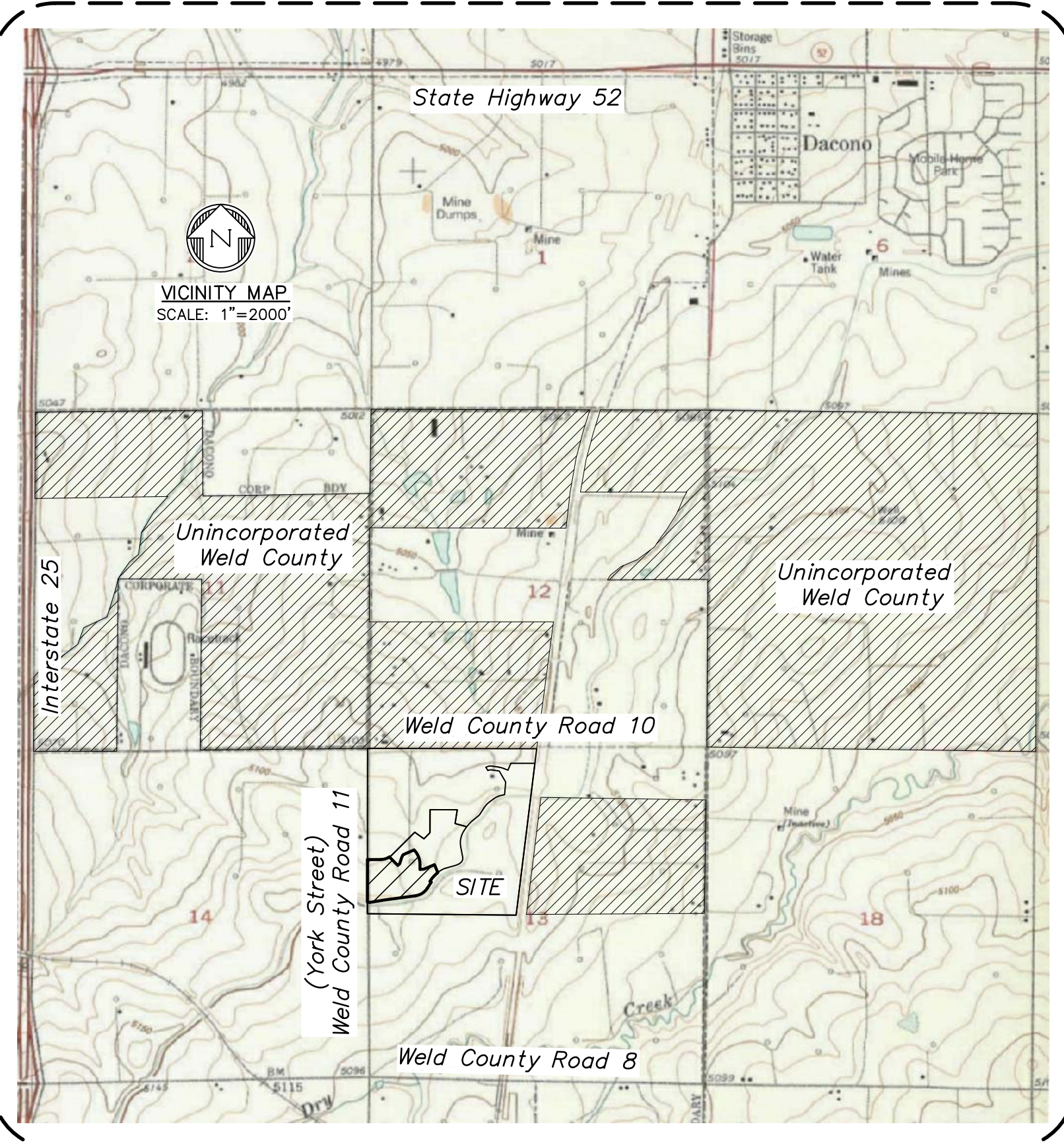
NOTARY CERTIFICATE

STATE OF COLORADO }
COUNTY OF _____ } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY DERRICK A. POLLAND, MANAGING MEMBER OF EAGLE MEADOW, LLC.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC



GAS, ELECTRIC, WATER & SANITARY SEWER EASEMENT APPROVAL

BLACK HILLS ENERGY	DATE
UNITED POWER	DATE
CENTRAL WELD CO. WATER DIST.	DATE
ST. VRAIN SANITATION DIST.	DATE

SUBDIVIDER/DEVELOPER: EAGLE MEADOW, LLC
8310 COLORADO BLVD., STE 800
FIRESTONE, CO 80504
(303) 792-1193
ATTN: RICK POLLAND
rick@tamrickhomes.com

DATE OF PREPARATION: JULY 3, 2019

REVISED: AUGUST 12, 2020

SURVEYOR: CIVILARTS
1500 KANSAS AVENUE, STE 2-E
LONGMONT, CO 80501
(303) 682-1131
ATTN: FRANK N. DREXEL, PLS
fdrexel@civilarts.us

LIENHOLDER CONSENT

THE UNDERSIGNED, COUNTY WIDE INVESTMENTS LLC, THE BENEFICIARY OF A DEED OF TRUST RECORDED WITH THE WELD COUNTY CLERK AND RECORDER AT RECEPTION NO. _____ AND THAT CONSTITUTES A LIEN UPON THE OWNER'S PROPERTY, HEREBY CONSENTS TO THE DEDICATION OF THE STREETS, AVENUES, EASEMENTS, OUTLOTS, TRACTS, AND OTHER PUBLIC PLACES AS SHOWN ON THIS FINAL PLAT OF "EAGLE MEADOW FILING 2B", AND HEREBY FOREVER RELEASES SAID LANDS FROM SAID LIEN.

COUNTY WIDE INVESTMENTS LLC

SIGNATURE

TITLE

NOTARY CERTIFICATE

STATE OF COLORADO }
COUNTY OF _____ } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____ FOR _____

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

SURVEY NOTES

- BEARINGS SHOWN ON THE ACCOMPANYING PLAT ARE BASED ON THE ASSUMPTION THAT THE WEST LINE OF THE NW1/4 OF SECTION 13, T1N, R68W OF THE 6TH P.M., BEARS S00°3'24"W AS MONUMENTED AND SHOWN HEREON.
- SET 24" LONG #5 REBAR WITH 2 INCH ALUMINUM CAP MARKED "CIVILARTS PLS 24305" FLUSH W/ GROUND LEVEL WHERE NOTED "SET". FOUND #5 REBAR WITH 2 INCH ALUMINUM CAP MARKED "CIVILARTS DREXEL PLS 24305" FLUSH W/ GROUND LEVEL WHERE NOTED "FND". DID NOT FIND OR SET A MONUMENT WHERE NOTED "NFS".
- RECORDED EASEMENTS AND RIGHTS-OF-WAY, IF ANY, ARE SHOWN ON THIS PLAT AS DISCLOSED IN LAND TITLE GUARANTEE COMPANY PROPERTY INFORMATION BINDER, POLICY NO. PIB25136203.1314314, EFFECTIVE DATE NOVEMBER 17, 2015. NO ADDITIONAL RESEARCH WAS COMPLETED.
- ACCORDING TO THE FIRM FLOOD INSURANCE RATE MAP, MAP NUMBER 08123C2100E, EFFECTIVE DATE JANUARY 20, 2016, PANEL 2100 OF 2250, WELD COUNTY, COLORADO AND INCORPORATED AREAS, THE SUBJECT PROPERTY LIES WITHIN ZONE X OF OTHER AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE POSITION OF ANY AREA DESIGNATED ON THE FIRM MAP RELATIVE TO THE SUBJECT PROPERTY, AS MAY BE NOTED OR SHOWN ON THIS MAP, IS BASED ON GRAPHICALLY SPOTTING OR SCALING THE BOUNDARIES OF THE SUBJECT PROPERTY RELATIVE TO IDENTIFIABLE FEATURES, SUCH AS ROADS, DRAINAGES, OR REFERENCED SECTION LINES, AND MAY NOT BE ACCURATE. CLIENT IS RESPONSIBLE FOR VERIFYING ALL FLOOD MATTERS.
- LOCATION OF OIL & GAS FACILITIES IS FROM FIELD WORK COMPLETED IN 2005.
- LINEAR DIMENSIONS SHOWN ON THIS MAP ARE U.S. SURVEY FEET.
- LEGAL DESCRIPTION PREPARED BY FRANK N. DREXEL, 1500 KANSAS AVENUE, SUITE 2-E, LONGMONT, COLORADO, 80501 (CRS 38-35-106.5).

GENERAL NOTES

- ALL INTERNAL ROADS SHOWN HEREON ARE DEDICATED TO THE CITY VIA THIS FINAL PLAT. THE ROW FOR ALL INTERNAL ROADS SHALL BE 60 FEET.
- THE ROW RADIUS FOR THE BULBS FOR THE CUL-DE-SACS SHOWN HEREON SHALL BE 60 FEET.
- OUTLOT A WILL BE CONVEYED TO THE HOME OWNERS ASSOCIATION BY SEPARATE INSTRUMENT. THE ACREAGE AND PURPOSE OF OUTLOT B IS SHOWN ON THE LAND USE INFORMATION TABLE HEREON.
- UTILITY EASEMENTS AS SHOWN HEREON ARE DEDICATED TO THE PUBLIC AND THOSE PROVIDERS OF PUBLIC UTILITIES VIA THIS FINAL PLAT.
- NON-EXCLUSIVE OIL AND GAS (O/G) EASEMENTS ARE GRANTED TO OIL AND GAS INTEREST OWNERS, THEIR HEIRS, SUCCESSORS, AND ASSIGNS, AS SHOWN ON THIS FINAL PLAT.
- A NON-EXCLUSIVE ROADWAY, DRAINAGE AND UTILITY EASEMENT IS GRANTED TO THE CITY OF DAcono VIA THIS FINAL PLAT. SAID NON-EXCLUSIVE ROAD, DRAINAGE AND UTILITY EASEMENT SHALL BE A MINIMUM OF 15' WIDE AND SHALL EXTEND FROM THE ROAD ROW TO THE TOP OF THE CUT SLOPE OR BOTTOM OF THE FILL SLOPE, WHICHEVER IS APPLICABLE, OR FOR 15', WHICHEVER IS GREATER.
- MINOR MAINTENANCE FOR OUTLOT A, AND ROAD/SLOPE EASEMENTS INCLUDING, BUT NOT LIMITED TO, THE TRAILS, DRAINAGE FACILITIES, LANDSCAPING, FENCES, AND OTHER IMPROVEMENTS AND APPURTENANCES THAT MAY LIE WITHIN SAID OUTLOT, AND ROAD/SLOPE EASEMENTS SHALL BE PERFORMED BY THE HOMEOWNERS ASSOCIATION. MINOR MAINTENANCE SHALL BE DEFINED AS MOWING, TRASH REMOVAL, PLANT AND TREE CARE AND PLANTINGS, IRRIGATION AND MAINTENANCE OF IRRIGATION SYSTEMS, INSTALLATION AND MAINTENANCE OF FENCING AND OTHER SUCH ACTIVITIES NOT REQUIRING HEAVY EQUIPMENT. DRIVEWAY CULVERTS AT INDIVIDUAL DRIVEWAYS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL HOMEOWNER.
- NO PROPERTY LINES, BUILDINGS, STRUCTURES, OR OTHER IMPROVEMENTS SHALL BE LOCATED, CONSTRUCTED OR INSTALLED WITHIN OUTLOT A, THE OIL AND GAS OPERATIONS AREAS, EXCEPT AS SHOWN HEREON AND PROVIDED IN THE SURFACE USE AGREEMENT.
- THE CITY OF DAcono SHALL OPERATE AND MAINTAIN THE DRAINAGE CHANNELS, DETENTION PONDS, AND APPURTENANCES. THE HOME OWNERS ASSOCIATION MAY PROVIDE MINOR MAINTENANCE AS DEFINED IN NOTE 7 ONLY TO THE EXTENT PERMITTED BY THE CITY.
- SIGNS EAGLE MEADOW FILING 2B SHALL BE CONSTRUCTED AS PROPOSED IN THE LANDSCAPE PLANS.
- ROADS CONSTRUCTED WITHIN EAGLE MEADOW FILING 2B SHALL BE "RURAL-RESIDENTIAL" ROADS AS DETAILED HEREON, WITH BLOCKS EXCEEDING 1500' IN LENGTH AND ROADSIDE BORROW DITCHES. SAID BORROW DITCH CROSS SECTION AND DRAINAGE FLOWS WITHIN MAY EXTEND OUTSIDE OF THE ROW AS DETAILED HEREON.
- MINIMUM LOT FRONTAGE WITHIN EAGLE MEADOW FILING 2B SHALL BE 120' AT THE FRONT BUILDING LINE.
- PAYMENT OF CASH IN LIEU OF LAND DEDICATION SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF EACH RESIDENTIAL BUILDING PERMIT IN ACCORDANCE WITH THE INTERGOVERNMENTAL AGREEMENT CONCERNING CONTRIBUTIONS FOR PUBLIC SCHOOL SITES BETWEEN THE CITY OF DAcono AND WELD COUNTY SCHOOL DISTRICT RE-8, EFFECTIVE JANUARY 1, 2013.

LAND USE INFORMATION:

ACRES	
LOT AREA:	8.475
DEDICATED TO THE CITY (FROM TABLE BELOW):	3.027
DEDICATED/RESERVED TO OTHERS (FROM TABLE BELOW):	2.547
TOTAL RESIDENTIAL AREA:	14.050
NUMBER OF RESIDENTIAL LOTS:	12
GROSS DENSITY:	0.9 DU/AC
NET DENSITY:	1.4 DU/AC

DEDICATED TO THE CITY:

ACRES	
TRACT A	0.158
TRACT B	0.581
INTERNAL ROADS	2.288
TOTAL	3.027

CONVEYED TO THE HOME OWNERS ASSOCIATION:

ACRES	
OUTLOT A - OPEN SPACE, OIL AND GAS OPERATIONS AREA	2.547
TOTAL	2.547

RESIDENTIAL LOT STANDARDS:

MINIMUM FRONT SETBACK:	30'
MINIMUM SIDE SETBACK:	15'
MINIMUM SIDE SETBACK (CORNER LOT - ADJACENT TO RIGHT-OF-WAY):	30'
MINIMUM REAR SETBACK:	25'
MINIMUM REAR/SIDE SETBACK (CORNER LOT):	15'
MINIMUM LOT FRONTAGE (AT THE FRONT BUILDING LINE):	120'
MINIMUM LOT SIZE (NOT ABUTTING OPEN SPACE):	0.6 AC
MINIMUM LOT SIZE (ABUTTING OPEN SPACE):	0.5 AC
MAXIMUM BUILDING HEIGHT:	35'
MINIMUM OFF STREET PARKING SPACES:	4

PLANNING AND ZONING COMMISSION

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF DAcono THIS _____ DAY OF _____, 20____

CHAIRPERSON

CITY COUNCIL APPROVAL

THIS IS TO CERTIFY THAT THE "EAGLE MEADOW FILING 2B" WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF DAcono BY RESOLUTION NO. _____ THIS _____ DAY OF _____, 20____ AND THAT THE MAYOR OF THE CITY OF DAcono ON BEHALF OF THE CITY OF DAcono, HEREBY ACKNOWLEDGES SAID PLAT UPON WHICH THIS CERTIFICATE IS ENDORSED FOR ALL PURPOSES INDICATED HEREON.

ATTEST:

MAYOR

CITY CLERK

CERTIFICATION DEFINED

THE USE OF THE WORDS "CERTIFY" AND/OR "CERTIFICATION" BY A REGISTERED PROFESSIONAL LAND SURVEYOR CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS AND FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION; WAS PERFORMED BY OR UNDER THE REGISTERED PROFESSIONAL LAND SURVEYOR IN RESPONSIBLE CHARGE; IS BASED ON THE PROFESSIONAL LAND SURVEYOR'S KNOWLEDGE, INFORMATION, AND BELIEF; IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE; AND DOES NOT CONSTITUTE A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. (RULE 6.2.2 OF THE BYLAWS AND RULES OF THE STATE BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS)

NOTICE

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

SURVEYOR'S CERTIFICATE

I, FRANK N. DREXEL, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS MAP REFLECTS THE RESULTS OF A SURVEY MADE UNDER MY RESPONSIBLE CHARGE, IS BASED ON MY KNOWLEDGE, INFORMATION, AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

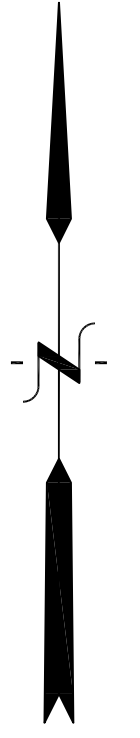


FRANK N. DREXEL, 2006
COLORADO REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 24305

DATE: _____

FINAL PLAT EAGLE MEADOW FILING 2B

A SUBDIVISION OF A PART OF THE NW1/4
OF SECTION 13, T1N, R68W OF THE 6TH P.M.,
CITY OF DAcono,
COUNTY OF WELD
STATE OF COLORADO.
SHEET 2 OF 3



SCALE: 1"=60'

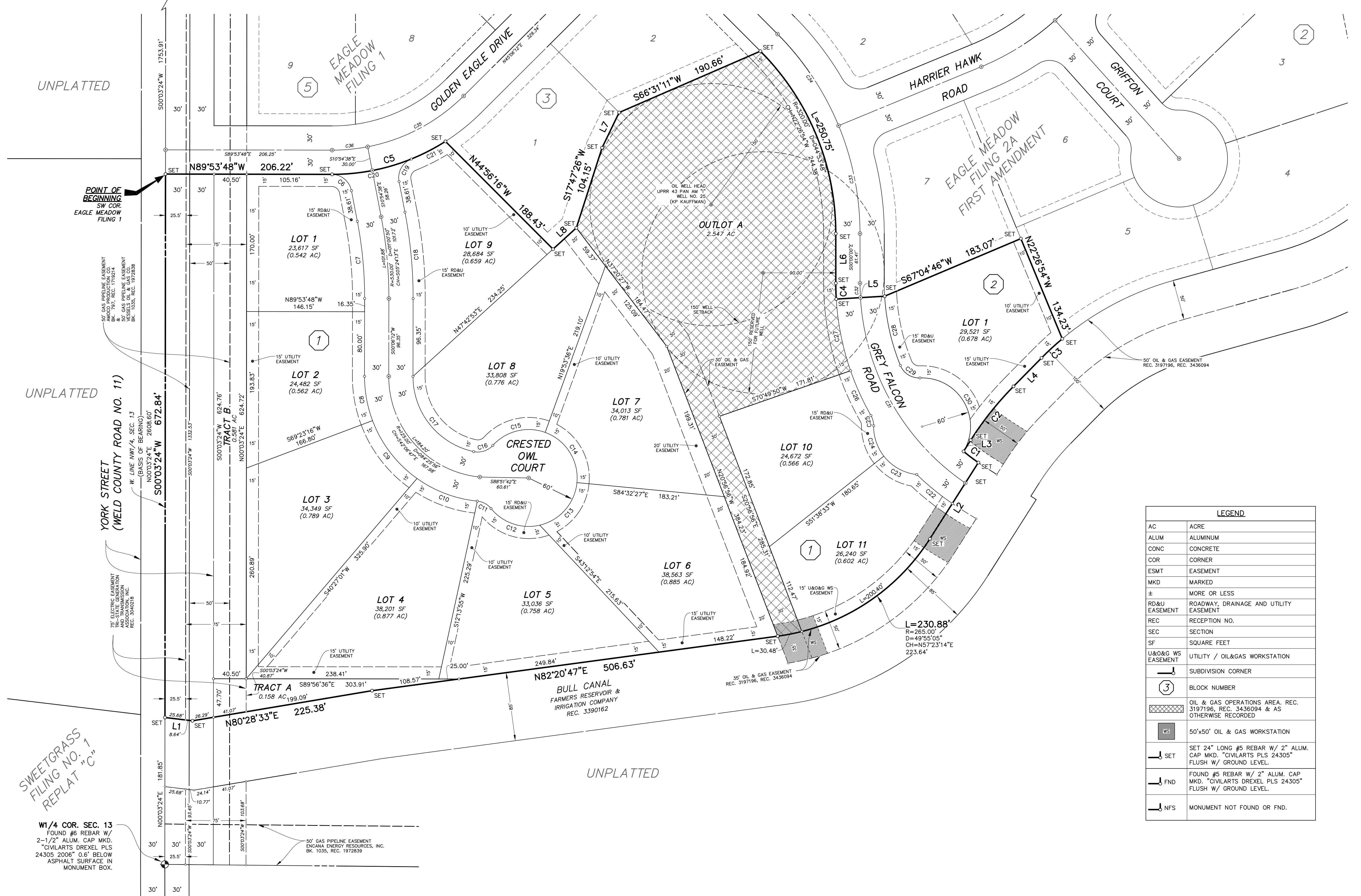


POINT OF COMMENCEMENT
NW COR. SEC. 13
T1N, R68W, 6TH P.M.
FOUND #6 REBAR W/
2-1/2" ALUM. CAP MKD.
"CIVILARTS DREXEL PLS
24305 2006" 0.7' BELOW
ASPHALT SURFACE IN
MONUMENT BOX.

POINT OF BEGINNING
SW COR.
EAGLE MEADOW FILING 1

LINE #	DIRECTION	LENGTH
L1	S83°11'08"E	34.32'
L2	N32°25'42"E	111.82'
L3	N32°25'42"E	16.51'
L4	N44°34'17"E	49.49'
L5	S86°35'06"W	60.00'
L6	N00°00'00"E	61.41'
L7	S25°49'40"W	48.52'
L8	S47°42'53"W	39.06'

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	22.94'	270.00'	4°52'09"	N52°54'32"W	22.94'
C2	85.20'	402.00'	12°06'35"	N38°29'59"E	85.04'
C3	34.92'	366.00'	5°28'02"	N47°18'17"E	34.91'
C4	19.67'	330.00'	3°24'54"	N01°42'27"W	19.67'
C5	148.13'	260.00'	32°38'34"	S73°46'55"W	146.13'
C6	34.46'	25.00'	78°59'10"	S50°24'13"E	31.80'
C7	96.11'	500.00'	11°00'50"	S05°24'13"E	95.97'
C8	56.04'	155.00'	20°42'56"	S10°15'16"E	55.74'
C9	91.67'	155.00'	33°53'05"	S37°33'17"E	90.34'
C10	80.70'	155.00'	29°49'55"	S89°24'47"E	79.79'
C11	19.77'	25.00'	45°17'57"	S61°40'46"E	19.25'
C12	67.17'	60.00'	64°08'25"	S71°06'00"E	63.71'
C13	74.74'	60.00'	71°22'14"	N41°08'40"E	70.00'
C14	79.13'	60.00'	75°33'57"	N32°19'26"W	73.52'
C15	70.84'	60.00'	67°38'44"	S76°04'13"W	66.80'
C16	26.12'	25.00'	59°51'24"	S72°10'33"W	24.95'
C17	129.33'	95.00'	77°59'57"	N38°53'47"W	119.57'
C18	107.65'	560.00'	11°00'50"	N05°24'13"W	107.48'
C19	34.41'	25.00'	78°52'23"	N28°31'33"E	31.76'
C20	100.47'	260.00'	22°08'27"	N79°01'58"E	119.57'
C21	47.66'	260.00'	10°30'07"	N62°42'41"E	47.59'
C22	56.88'	330.00'	9°52'33"	N50°48'39"W	56.81'
C23	47.97'	60.00'	45°48'17"	N60°48'22"W	46.70'
C24	40.42'	60.00'	38°35'47"	N18°36'20"W	39.66'
C25	13.29'	25.00'	30°27'07"	S14°32'00"E	13.13'
C26	60.99'	330.00'	10°35'23"	N24°27'52"W	60.91'
C27	90.74'	330.00'	15°45'16"	N11°17'32"W	90.45'
C28	88.22'	270.00'	18°43'15"	S12°46'32"E	87.83'
C29	30.72'	25.00'	70°23'42"	S57°20'00"E	28.82'
C30	129.51'	60.00'	123°40'15"	S30°41'44"E	105.79'
C31	273.06'	300.00'	52°09'05"	S29°29'26"E	263.74'
C32	17.88'	300.00'	3°24'54"	S01°42'27"E	17.88'
C33	137.13'	350.00'	22°26'54"	S11°13'27"E	136.25'
C34	137.13'	350.00'	22°26'54"	S33°40'21"E	136.25'
C35	136.43'	230.00'	33°59'10"	N62°05'47"E	134.44'
C36	44.21'	230.00'	11°00'50"	N84°35'47"E	44.14'



UNPLATTED
YORK STREET
(WELD COUNTY ROAD NO. 11)
W. LINE NW1/4, SEC. 13
N00°03'24"E 2606.60'
S00°03'24"W 672.84'
N00°03'24"E 624.76'
TRACT B
0.281 AC
N00°03'24"E 624.72'

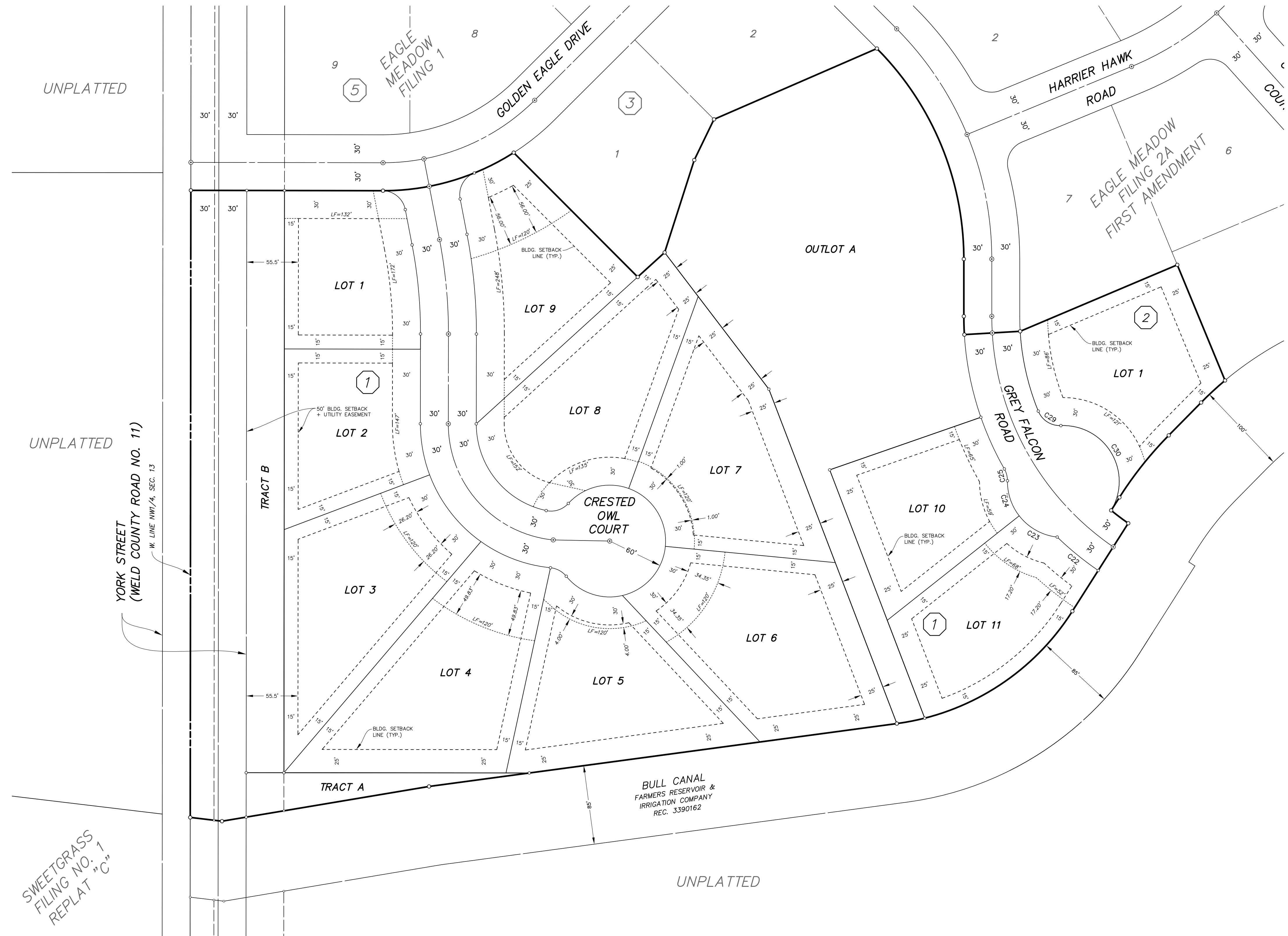
UNPLATTED
SWEETGRASS
FILING NO. 1
REPLAT "C"
W1/4 COR. SEC. 13
FOUND #6 REBAR W/
2-1/2" ALUM. CAP MKD.
"CIVILARTS DREXEL PLS
24305 2006" 0.6' BELOW
ASPHALT SURFACE IN
MONUMENT BOX.

LEGEND	
AC	ACRE
ALUM	ALUMINUM
CONC	CONCRETE
COR	CORNER
ESMT	EASEMENT
MKD	MARKED
±	MORE OR LESS
RD&U EASEMENT	ROADWAY, DRAINAGE AND UTILITY EASEMENT
REC	RECEPTION NO.
SEC	SECTION
SF	SQUARE FEET
U&O&G WS EASEMENT	UTILITY / OIL & GAS WORKSTATION
(Symbol)	SUBDIVISION CORNER
(Symbol)	BLOCK NUMBER
(Symbol)	OIL & GAS OPERATIONS AREA. REC. 3197196, REC. 3436094 & AS OTHERWISE RECORDED
(Symbol)	50'x50' OIL & GAS WORKSTATION
(Symbol)	SET 24" LONG #5 REBAR W/ 2" ALUM. CAP MKD. "CIVILARTS PLS 24305" FLUSH W/ GROUND LEVEL.
(Symbol)	FND #5 REBAR W/ 2" ALUM. CAP MKD. "CIVILARTS DREXEL PLS 24305" FLUSH W/ GROUND LEVEL.
(Symbol)	MONUMENT NOT FOUND OR FND.

FINAL PLAT EAGLE MEADOW FILING 2B

A SUBDIVISION OF A PART OF THE NW1/4
OF SECTION 13, T1N, R68W OF THE 6TH P.M.,
CITY OF DAcono,
COUNTY OF WELD
STATE OF COLORADO.

SHEET 3 OF 3



UNPLATTED

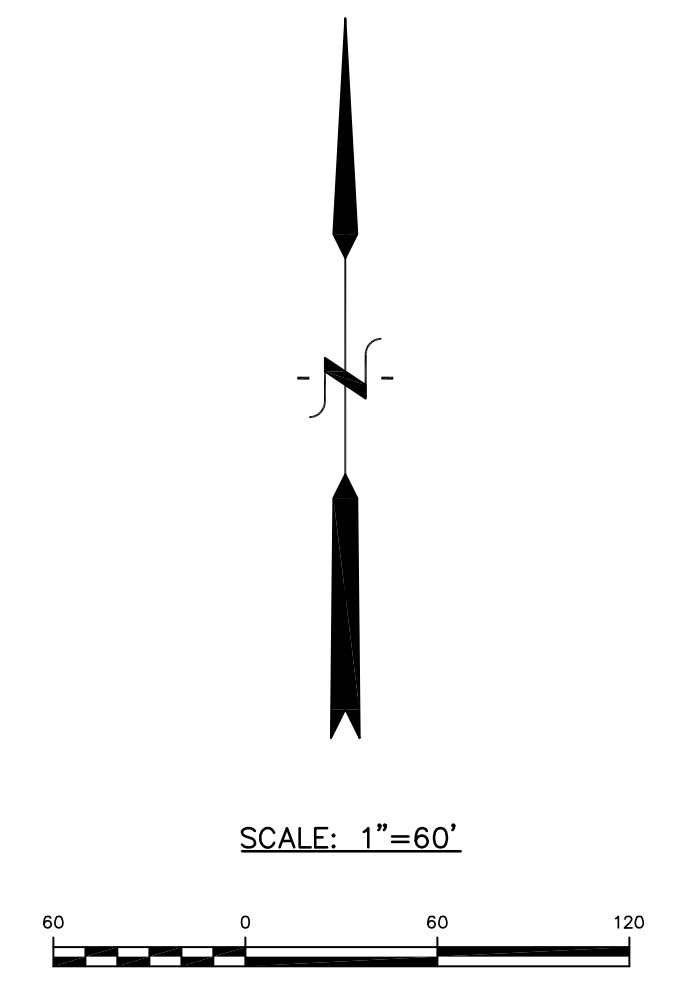
UNPLATTED

SWEETGRASS
FILING NO. 1
REPLAT "C"

YORK STREET
(WELD COUNTY ROAD NO. 11)
W. LINE NW1/4, SEC. 13

**SETBACK & LOT FRONTAGE
DETAIL**

LF= LOT FRONTAGE ROUNDED



LEGEND	
AC	ACRE
ALUM	ALUMINUM
CONC	CONCRETE
COR	CORNER
ESMT	EASEMENT
MKD	MARKED
±	MORE OR LESS
RD&U EASEMENT	ROADWAY, DRAINAGE AND UTILITY EASEMENT
REC	RECEPTION NO.
SEC	SECTION
SF	SQUARE FEET
U&G&G WS EASEMENT	UTILITY / OIL&GAS WORKSTATION
	SUBDIVISION CORNER
	BLOCK NUMBER
	OIL & GAS OPERATIONS AREA. REC. 3197196, REC. 3436094 & AS OTHERWISE RECORDED
	50'x50' OIL&GAS WORKSTATION
	SET 24" LONG #5 REBAR W/ 2" ALUM. CAP MKD. "CIVILARTS PLS 24305" FLUSH W/ GROUND LEVEL.
	FOUND #5 REBAR W/ 2" ALUM. CAP MKD. "CIVILARTS DREXEL PLS 24305" FLUSH W/ GROUND LEVEL.
	MONUMENT NOT FOUND OR FND.